

PROPOSED NEW DWELLING, LOT 101, DP 1126373, NO 18 SEYMOUR PDE, BELFIELD NSW 2191

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Design Calculations

SITE LOT AREA	309.90M²
BASEMENT GROSS FLOOR AREA (GFA)	NA M²
GROUND GROSS FLOOR AREA	83.90M²
UPPER GROSS FLOOR AREA	86.36M²
TOTAL GROSS FLOOR AREA PERMISSIBLE (FLOOR SPACE RATIO = 0.55:1)	170.44M²
TOTAL ACHIEVED GFA	170.26M²

NOTE: DESIGN AND DOCUMENTATION
CANTERBURY-BANKSTOWN LOCAL
ENVIRONMENTAL PLAN 2023

Legend/Abbreviations

	WINDOW NO, REFER TO SCHEDULE
	PROPOSED REDUCED LEVEL
	GALV GRATED DRAIN
	SEWER DRAINAGE LINE
	STORMWATER DRAINAGE LINE
	SMOKE ALARM
	ELECTRICITY PILLAR
	OVERLAND WATER FLOW
	GREY LINES = EXISTING
	BLACK DASHED LINES = DEMOLITION
	BLACK LINES = NEW
AC	AIR CONDITIONING UNIT
BDY	BOUNDARY
BLDG	BUILDING
BW	BOTTOM OF WALL
CBD	CUPBOARD
COS	CHECK ON SITE
CS	CAVITY SLIDING
DP	DOWN PIPE
EGL	EXISTING GROUND LINE
FD	FLOOR DRAIN
FFL	FINISHED FLOOR LEVEL
GFA	GROSS FLOOR AREA
HYD	HYDRANT
HWS	HOT WATER SERVICE
NCC	NATIONAL CONSTRUCTION CODE (BUILDING CODE OF AUSTRALIA)
NBN	NATIONAL BROADBAND NETWORK
NTS	NOT TO SCALE
P	PANTRY
PP	POWER POLE
PPOS	PRINCIPAL PRIVATE OPEN SPACE
R	REFRIGERATOR
RWH	RAIN WATER HEAD
RWT	RAIN WATER TANK
SC	SOLID CORE
SHR	SHOWER
SMH	SEWER MAN HOLE
TW	TOP OF WALL
TYP	TYPICAL
WIP	WALK IN PANTRY
WM	WASHING MACHINE

General Notes

- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS, BASIX CERTIFICATE, LANDSCAPE DESIGN, LOW WATER USE PLANT LIST & STRUCTURAL ENGINEER'S PLANS.
- BUILDER TO CHECK ALL LEVELS AND DIMENSIONS PRIOR TO WORK COMMENCING.
- ALL SETBACKS, OFFSETS AND DIMENSIONS SUBJECT TO FINAL PEG-OUT SURVEY AND ARE THE RESPONSIBILITY OF THE BUILDER AND MUST BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO CONSTRUCTION COMMENCING.
- ALL DIMENSIONS ARE SHOWN IN MILLIMETERS UNLESS NOTED OTHERWISE. FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING THE DRAWINGS.
- ALL LEVELS SHOWN ARE TO AUSTRALIAN HEIGHT DATUM (M).
- ANY DISCREPANCIES MUST BE REPORTED TO AND CLARIFIED BY LARA'S DESIGN STUDIO.
- NO RESPONSIBILITY WILL BE ACCEPTED BY LARA'S DESIGN STUDIO FOR BUILDER'S DETAILS, METHODS, SET-OUT OR DESIGN CONTRADICTIONS.
- ALL NEW ELECTRICAL, MECHANICAL, HYDRAULIC AND AIR CONDITIONING EQUIPMENT HOUSED SO THAT IT DOES NOT CREATE 'OFFENSIVE NOISE' AS DEFINED IN THE PROTECTION OF THE ENVIRONMENTAL OPERATIONS ACT 1997 EITHER WITHIN OR AT PROPERTY BOUNDARIES AT ANY TIME OF DAY.
- ALL RECESSED DOWNLIGHTS OCCURRING WHERE CEILING INSULATION IS SPECIFIED SHALL HAVE AN APPROVED FIRE SAFETY BARRIER INSTALLED OVER/AROUND THE LIGHT TO ALLOW CEILING INSULATION TO CONTINUE OVER THESE LIGHTS.
- ALL NEW WORK MUST COMPLY WITH NCC 2022 VOLUME 2 & HOUSING PROVISIONS AND LATEST RELEVANT AUSTRALIAN STANDARDS - REFER TO DRAWING A1.4.

DA ISSUE



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rev	revision	date	initials
A	ISSUE TO CLIENTS RE: MINOR DESIGN CHANGES	16/08/23	LN
B	DA ISSUE	29/09/23	LN

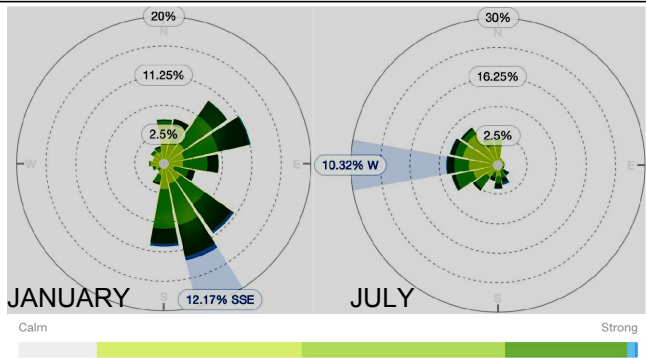
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Michael Thai & Anne Ung

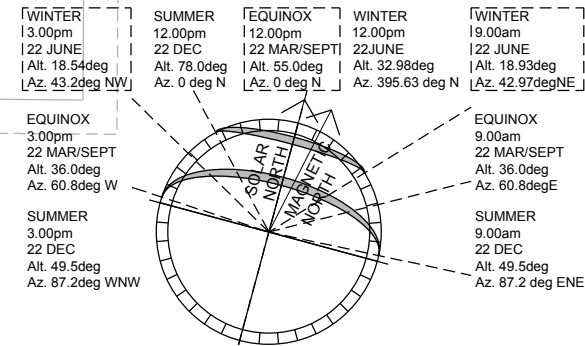
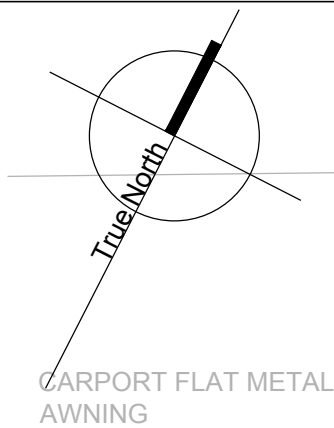
Coversheet

scale (A3): NTS
date: 17/07/2023

A0.1



WIND DIRECTION



SOLAR ANGLES

No.1B TWO STOREY BRICK RESIDENCE TILE ROOF

BOUNDARY 5.255M

EASEMENT TO DRAIN WATER - 1.2M WIDE

EXISTING CLOTHESLINE

BOUNDARY 5.495M

BOUNDARY 6.905M

Existing Garage

FL 22.170

EXISTING NEIGHBOURS GARAGE

22.170

SEWER

EXISTING 240MM MASONRY WALL

SEWER

EXISTING CONCRETE DRIVEWAY

EXISTING CONCRETE DRIVEWAY

REMOVE EXISTING TREE (T1)

POWER POLE

RETAIN EXISTING TREE (T2)

RETAIN EXISTING TREE (T3)

RETAIN EXISTING TREE (T4)

21.600

RL 21.800

RL 22.000

No.20 SINGLE STOREY BRICK & REND. RES. TILE ROOF

WT:25.12

PORCH

WT:25.14

DRIVEWAY

RL 22.210

EXISTING COLORBOND FENCE

BOUNDARY 28.555M

EASEMENT TO DRAIN WATER - 1.2M WIDE

2 DE

2 DE

6 DE

2 DE

6 DE

EASEMENT TO DRAIN WATER - 1.2M WIDE

4 DE

6 DE

4 DE

BOUNDARY 12.195 M

EXISTING PICKET FENCE

EXISTING PATH

COMS

SEWER

COMS

SEWER

COMS

SEWER

COMS

SEWER

COMS

SEWER

COMS

SEWER

COMS

SEYMOUR PARADE

LOT 101
DP1126373
309.9m²

BOUNDARY 23.050 M

EASEMENT TO DRAIN WATER - 1M WIDE

EXISTING PICKET FENCE

EASEMENT TO DRAIN WATER - 1.2M WIDE

21.750

21.520

BAZENTIN STREET

DA ISSUE

LEGEND

GREY SCREENED LINE-WORK
= EXISTING MATERIALS

BLACK DASHED LINE-WORK
= DEMOLITION ITEMS

DEMOLISH OR REMOVE THE
FOLLOWING:

- 1 DE SINGLE STOREY BRICK HOUSE WITH TILE ROOF
- 2 DE PAVEMENT / FOOTPATH
- 3 DE CONCRETE DRIVEWAY
- 4 DE GARDEN WALL
- 5 DE DECK
- 6 DE FENCE / GATE
- 7 DE SHED

1 Site Analysis & Demolition Plan

Scale 1:100

A1.1

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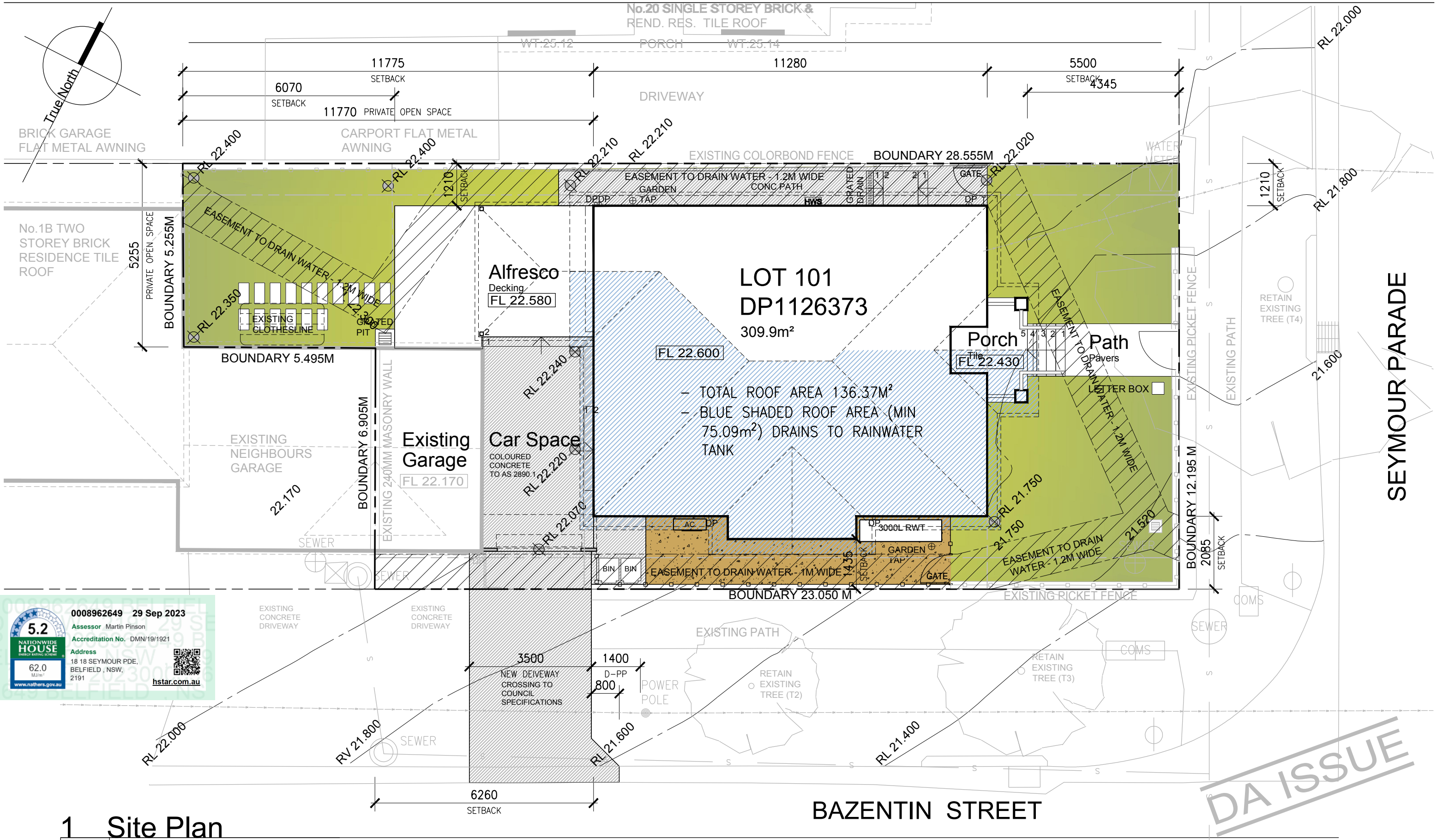
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Michael Thai & Anne Ung

Site Analysis & Demolition Plan

scale (A3): 1:100
date: 17/07/2023

A1.1



1 Site Plan

Scale 1:100

- A1.2
1. EARTHWORKS MUST COMPLY WITH NCC PART 3.1.1.
 2. EARTH RETAINING STRUCTURES MUST COMPLY WITH AS 4678.

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Site & Roof Plan

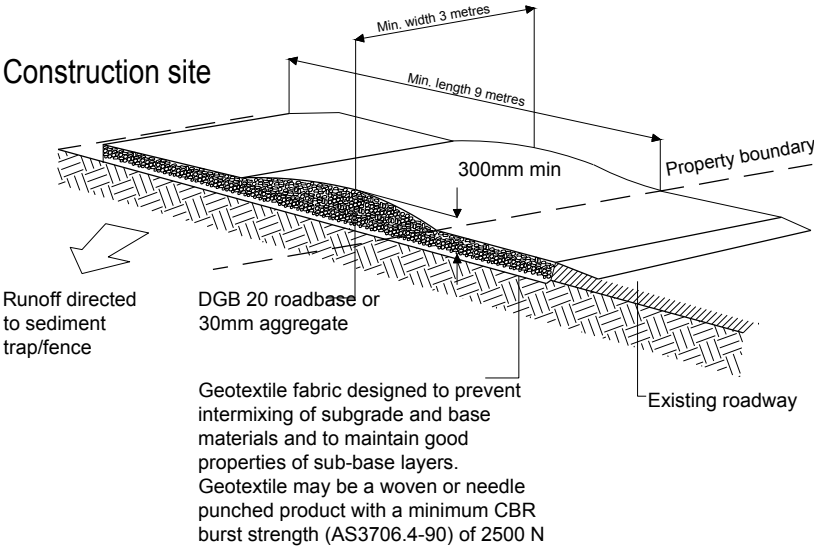
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A1.2

Sediment & Erosion Control Details

NTS

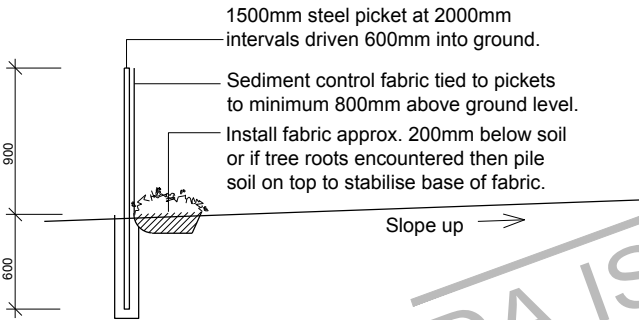
Detail 1 Driveway Crossing



Construction notes

- 1. Strip topsoil level site
- 2. Compact subgrade
- 3. Cover area with needle-punched geotextile.
- 4. Construct 200mm thick pad over geotextile using roadbase or 30mm aggregate. Minimum length 15 metres or to building alignment. Minimum width 3 metres
- 5. Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap

Detail 2 Temporary sedimentation control fence

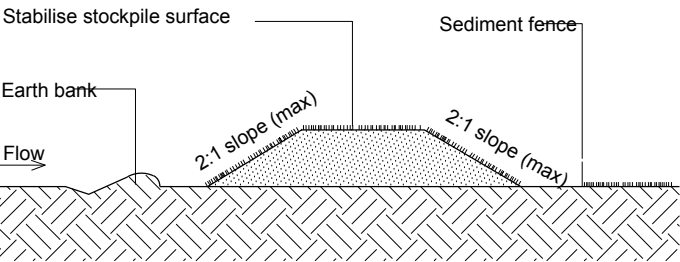


CONSTRUCTION SEQUENCE

- 1. WHERE POSSIBLE ALL SILT FENCES, PERIMETER BANKS, SEDIMENT BASINS AND OTHER SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE INSTALLED AS A FIRST STEP IN THE CONSTRUCTION SEQUENCE.
- 2. CARRY OUT CLEARING WITHIN SCOPE OF WORKS AND EXCAVATIONS AND TAKING CARE TO MINIMISE THE EXTENT OF DISTURBANCE DURING CONSTRUCTION.
- 3. CARRY OUT EARTHWORKS IN ACCORDANCE WITH THE ENVIRONMENTAL MANAGEMENT PLAN AND TAKING CARE TO MINIMISE THE EXTENT OF DISTURBANCE.
- 4. WHILE ANY AREAS REMAIN DISTURBED (ie BEFORE AND DURING RE-VEGETATION) ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE RETAINED.
- 5. AREAS WHERE DEVICES ARE REMOVED ON COMPLETION OF WORKS SHALL BE RE-INSTATED TO PRE-CONSTRUCTION CONDITIONS.

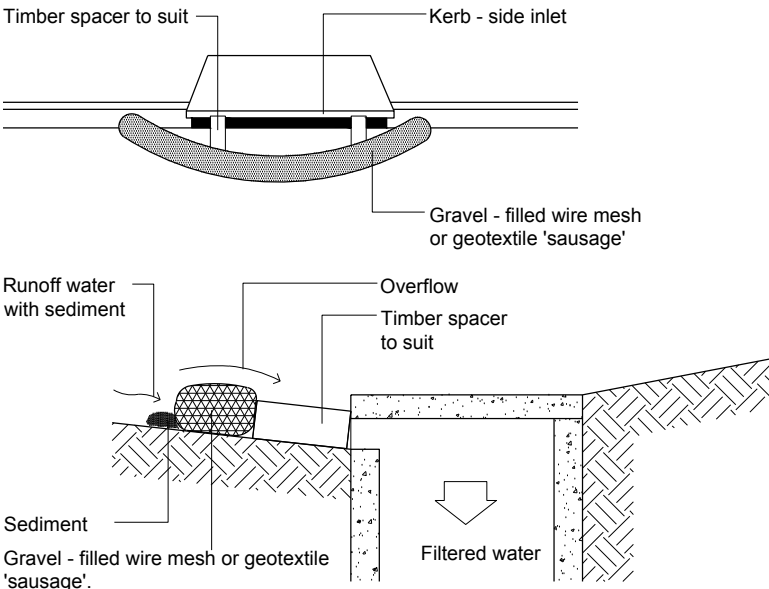
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Detail 3 Temporary stockpile detail n.t.s.



Detail 4 Temporary sediment control at inlet n.t.s.

Mesh & gravel inlet filter



NCC & AS Compliance

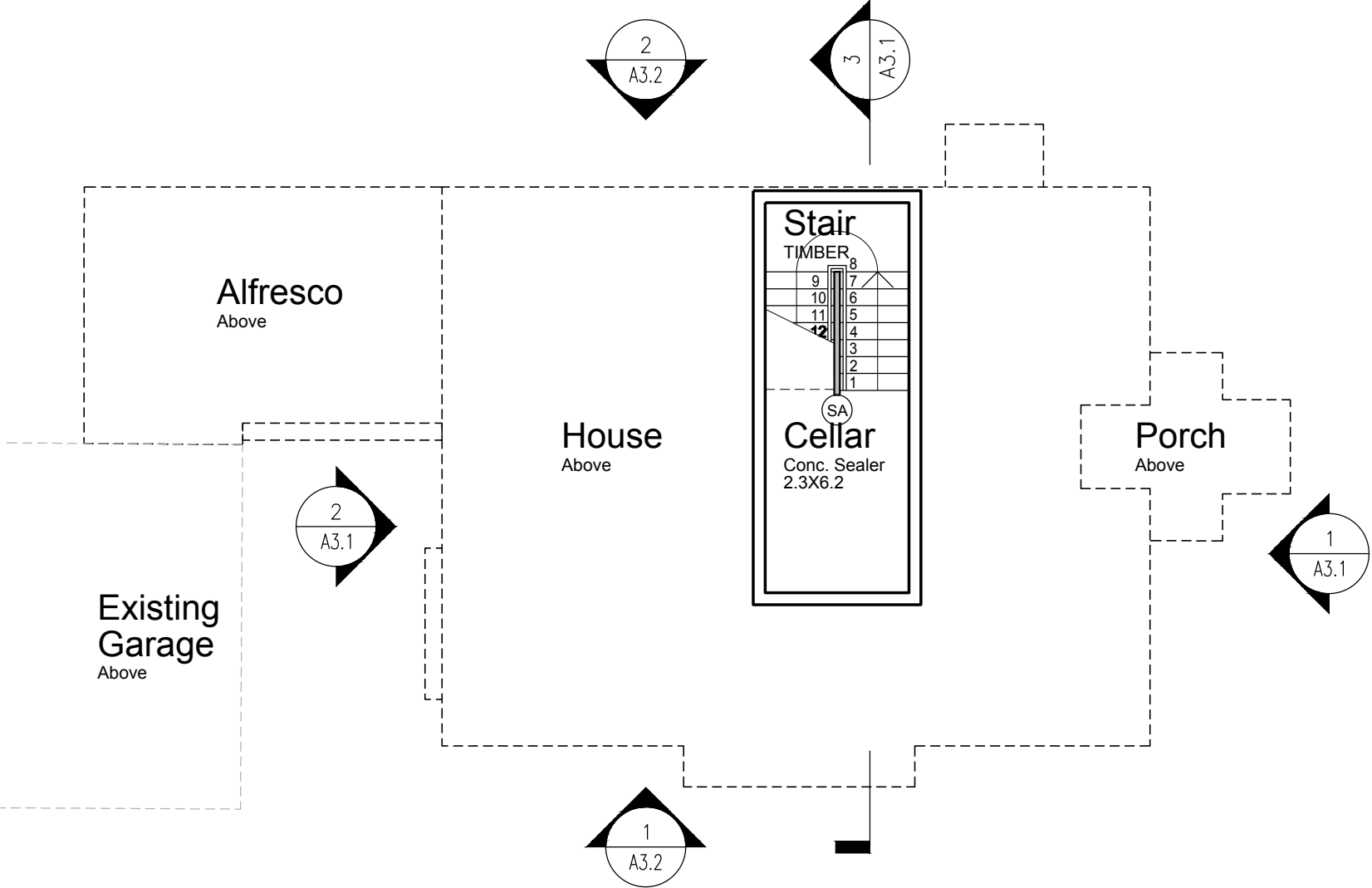
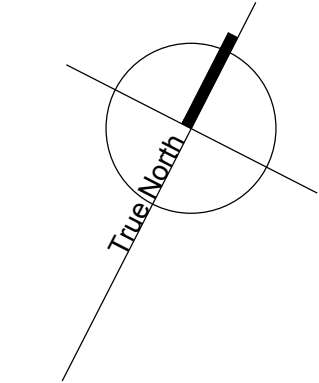
1. ALL NEW WORK MUST COMPLY WITH NCC (NATIONAL CONSTRUCTION CODE) 2022 VOLUME 2 & HOUSING PROVISIONS, IN PARTICULAR:

VOL 2		HOUSING PROVISIONS	
H1D3, H2D1 SITE PREPARATION		PART 3.2	EARTHWORKS
H2D2 DRAINAGE		PART3.4	TERMITE RISK MANAGEMENT
H1D4, H1D5 MASONRY		PART 3.3	DRAINAGE
		PART 5.2	MASONRY VENEER
		PART 5.3	CAVITY MASONRY
		PART 5.4	UNREINFORCED SINGLE LEAF MASONRY
		PART 5.5	ISOLATED MASONRY PIERS
		PART 5.6	MASONRY COMPONENTS & ACCESSORIES
		PART 5.7	WEATHERPROOFING OF MASONRY
H1D6 FRAMING		PART 6.2	SUBFLOOR VENTILATION
H2D5 SUBFLOOR VENTILATION		PART 7.2	SHEET ROOFING
H1D7, H2D6 ROOF & WALL CLADDING		PART 7.3	ROOF TILES & SHINGLES
		PART 7.4	GUTTERS & DOWNPIPES
		PART 7.5	TIMBER & COMPOSITE WALL CLADDING
		PART 8	GLAZING
		PART 8.2	WINDOWS & EXTERNAL GLAZED DOORS
		PART 8.3	GLASS
		PART 8.4	GLAZING HUMAN IMPACT
		PART 9	FIRE SAFETY
		PART 9.2	FIRE SEPARATION OF EXTERNAL WALLS
		PART 9.3	FIRE PROTECTION SEPARATING WALLS & FLOORS
		PART 9.5	SMOKE ALARMS & EVACUATION LIGHTING
		PART 10.2	WET AREA WATERPROOFING
		PART 10.3	ROOM HEIGHTS
		PART 10.4	FACILITIES
		PART 10.5	LIGHT
		PART 10.6	VENTILATION
		PART 10.7	SOUND INSULATION
		PART 11.2	STAIRWAY & RAMP CONSTRUCTION
		PART 11.3	BARRIERS & HANDRAILS
H3 FIRE SAFETY			
H3D3 FIRE SEPARATION OF EXTERNAL WALLS			
H3D4 FIRE PROTECTION SEPARATING WALLS & FLOORS			
H3D6 SMOKE ALARMS & EVACUATION LIGHTING			
H4D2 WET AREAS			
H4D4 ROOM HEIGHTS			
H4D5 FACILITIES			
H4D6 LIGHT			
H4D7 VENTILATION			
H4D8 SOUND INSULATION			
H5D2 STAIRWAY & RAMP CONSTRUCTION			
H5D3 BARRIERS & HANDRAILS			
H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS			
H1D11 ATTACHMENT OF FRAMED DECKS & BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE		PART 12.3	ATTACHMENT OF FRAMED DECKS & BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE
H6 ENERGY EFFICIENCY		PART 13	ENERGY EFFICIENCY
		PART 13.2	BUILDING FABRIC
		PART 13.3	EXTERNAL GLAZING
		PART 13.4	BUILDING SEALING
		PART 13.5	CEILING FANS
		PART 13.6	WHOLE-OF-HOME ENERGY USAGE
		PART 13.7	SERVICES

2. ALL NEW EXHAUST FANS MUST HAVE DAMPERS FOR INFILTRATION (WHEN FANS ARE OFF) TO COMPLY WITH NCC 2022 HOUSING PROVISIONS PART 13.4.5.

3. ALL NEW PLUMBING AND DRAINAGE WORK TO COMPLY WITH NCC 2022 VOLUME 3 & AS 3500.2.

- 4. ALL NEW WORK MUST COMPLY WITH LATEST RELEVANT AS (AUSTRALIAN STANDARDS), IN PARTICULAR:
 - AS 4678 EARTH-RETAINING STRUCTURES
 - AS 3660.1 TERMITE MANAGEMENT
 - AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION
 - AS 3700, AS 4773.1 & AS 4773.2 MASONRY
 - AS 3740 WATERPROOFING WET AREAS WITHIN RESIDENTIAL BUILDINGS
 - AS 3786 SMOKE ALARMS
 - AS 2890.1 PARKING FACILITIES - OFF-STREET CAR PARKING
 - AS 3959 CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS
 - AS 1596 THE STORAGE AND HANDLING OF LP GAS



THERMAL COMFORT SPECIFICATIONS	
External Walls 1	Weatherboard 9mm or more, optional insul for garage
External Walls 2	Weatherboard 9mm or more, R2.2 added (non-garage)
Internal Walls 1	Plasterboard on studs
Internal Walls 2	Plasterboard on studs, R2.2 added between garage/rooms
External Floors	Concrete slab on ground
External Floor Insulation	None
Internal floor	N/A
Floor Finishes	As shown on plans (tile, carpet, timber, etc)
Roofs	Metal roofs as shown, dark colour (no foil/anticon/etc)
External Ceilings	Plasterboard + R4.0 above
Windows	Metal frames+ single, clear glass (generic)
Fixed/Sliding Windows - U-value	≤ 6.7
Fixed/Sliding Windows - SHGC	0.70 ± 5%
Awning Windows - U-value	≤ 6.7
Awning Windows - SHGC	0.57 ± 5%
Internal Doors	Hollow-core doors
External Doors	Solid-core doors
Exhaust Fans	All with dampers for infiltration (when the fans are off)
Weather Stripping	Yes for all external doors and windows
Skylights	N/A
Ceiling fans	Optional (but can add almost 1 star)
Downlights affecting insulation	No holes in insulation. Downlights MUST use approved safety cover
Downlights / exhaust fans in ceiling	Generic holes assumed , based on floor area (wet areas have exhaust)
Shading	Eaves as shown and overhangs as shown
Terrain	Suburban

5.2

NATIONWIDE HOUSE ENERGY RATING SCHEME

62.0 MJ/m²

www.nathers.gov.au

0008962649 29 Sep 2023

Assessor Martin Pinson

Accreditation No. DMN/19/1921

Address
18 18 SEYMOUR PDE,
BELFIELD , NSW,
2191

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1

Basement Floor Plan

A2.1

Scale 1:100

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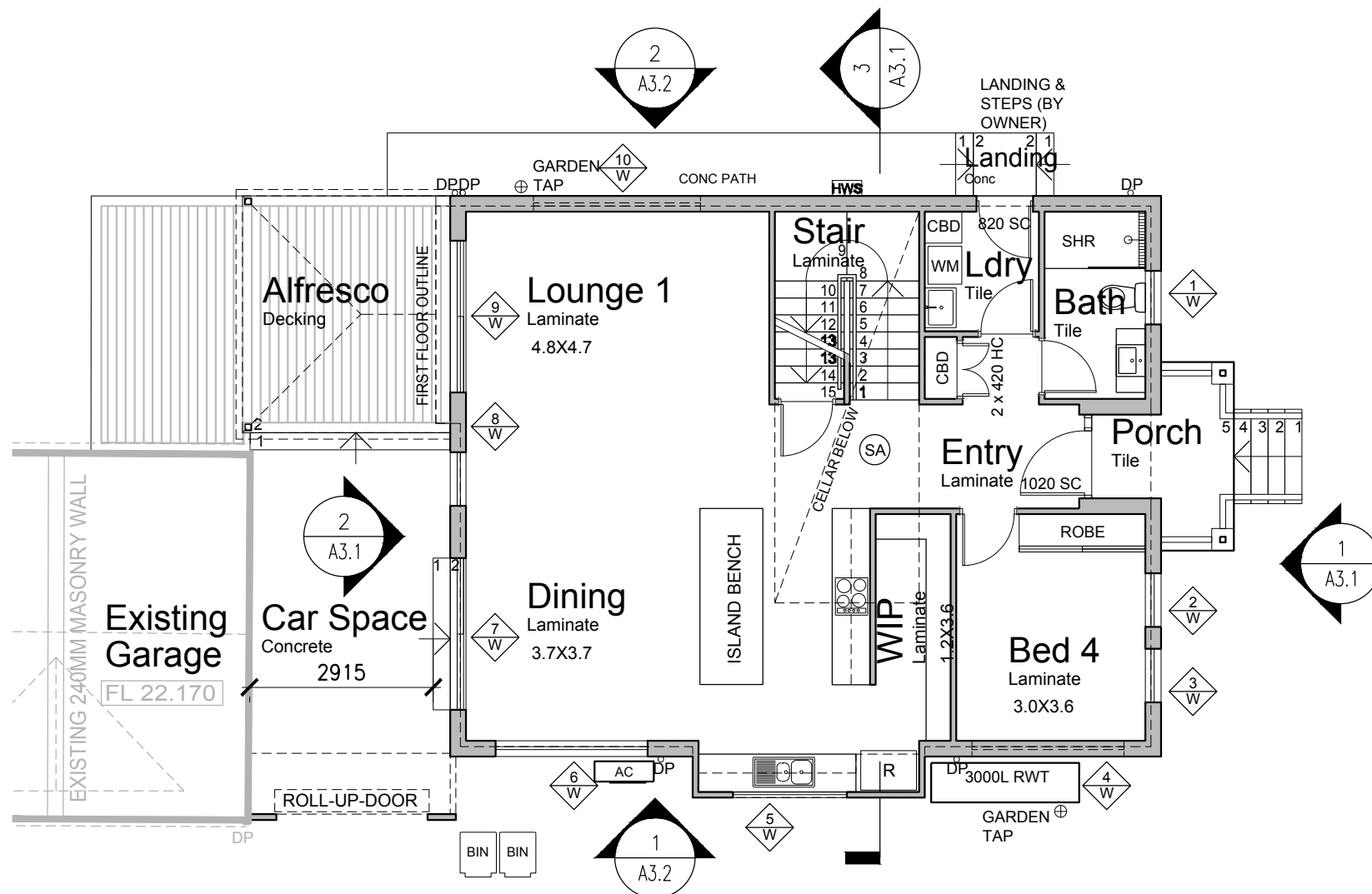
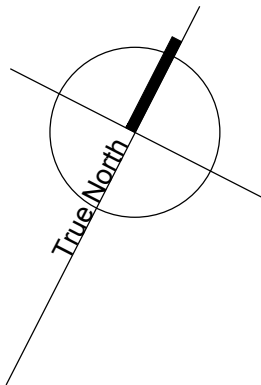
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Basement Floor Plan

scale (A3): 1:100

date: 17/07/2023

A2.1



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1 Ground Floor Plan

Scale 1:100

A2.2

ALL DOORS 820 x 2040mm HC, UNLESS OTHERWISE NOTED.

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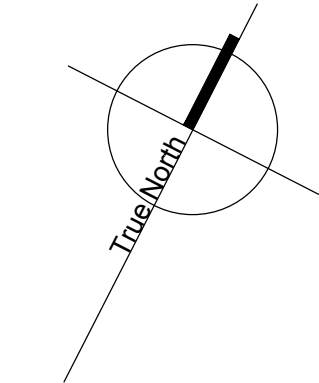
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Ground Floor Plan

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A2.2



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NATIONWIDE HOUSE ENERGY RATING SCHEME

62.0

Miles

www.nathers.gov.au

0008962649 29 Sep 2023

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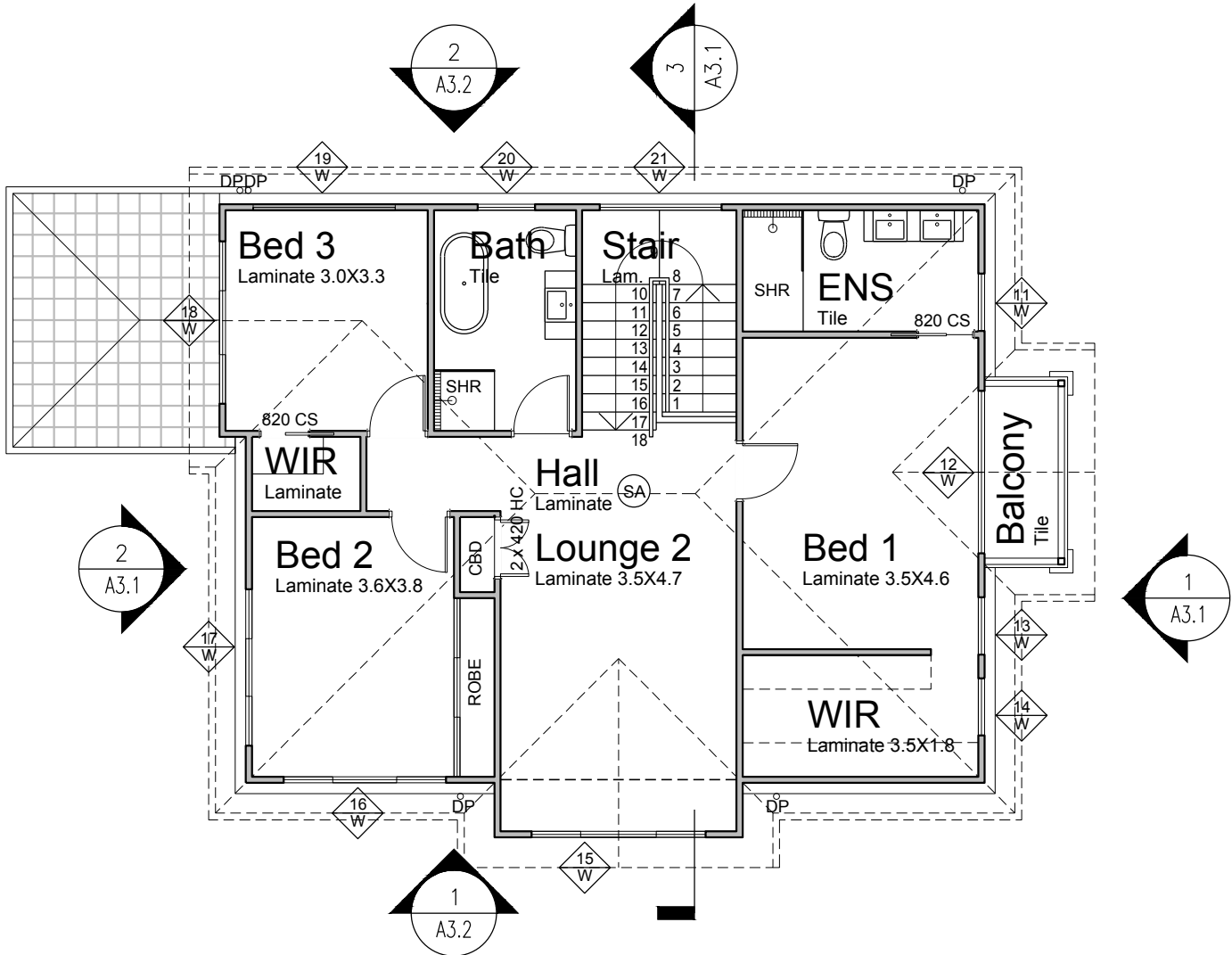
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1

First Floor Plan

A2.3

Scale 1:100



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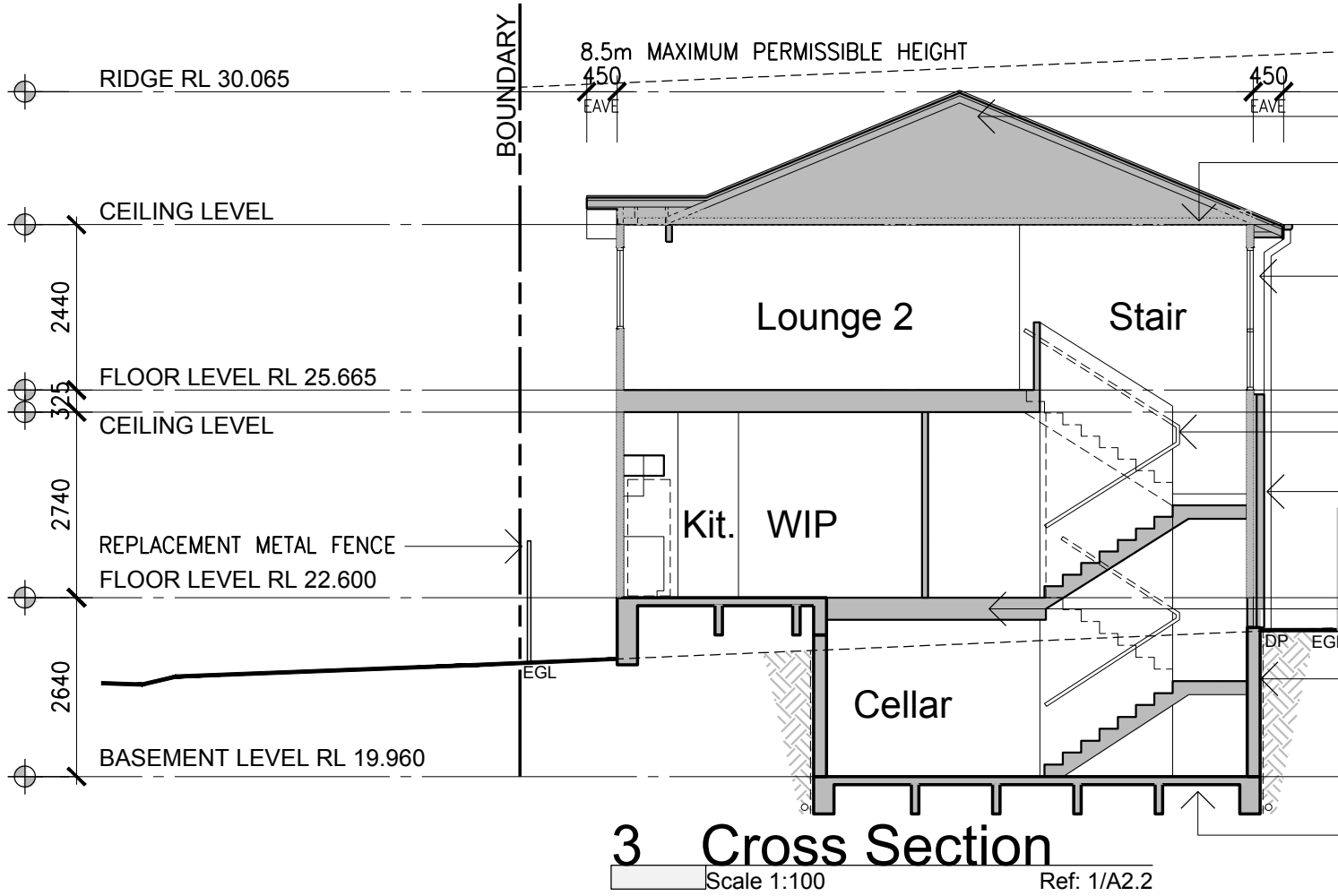
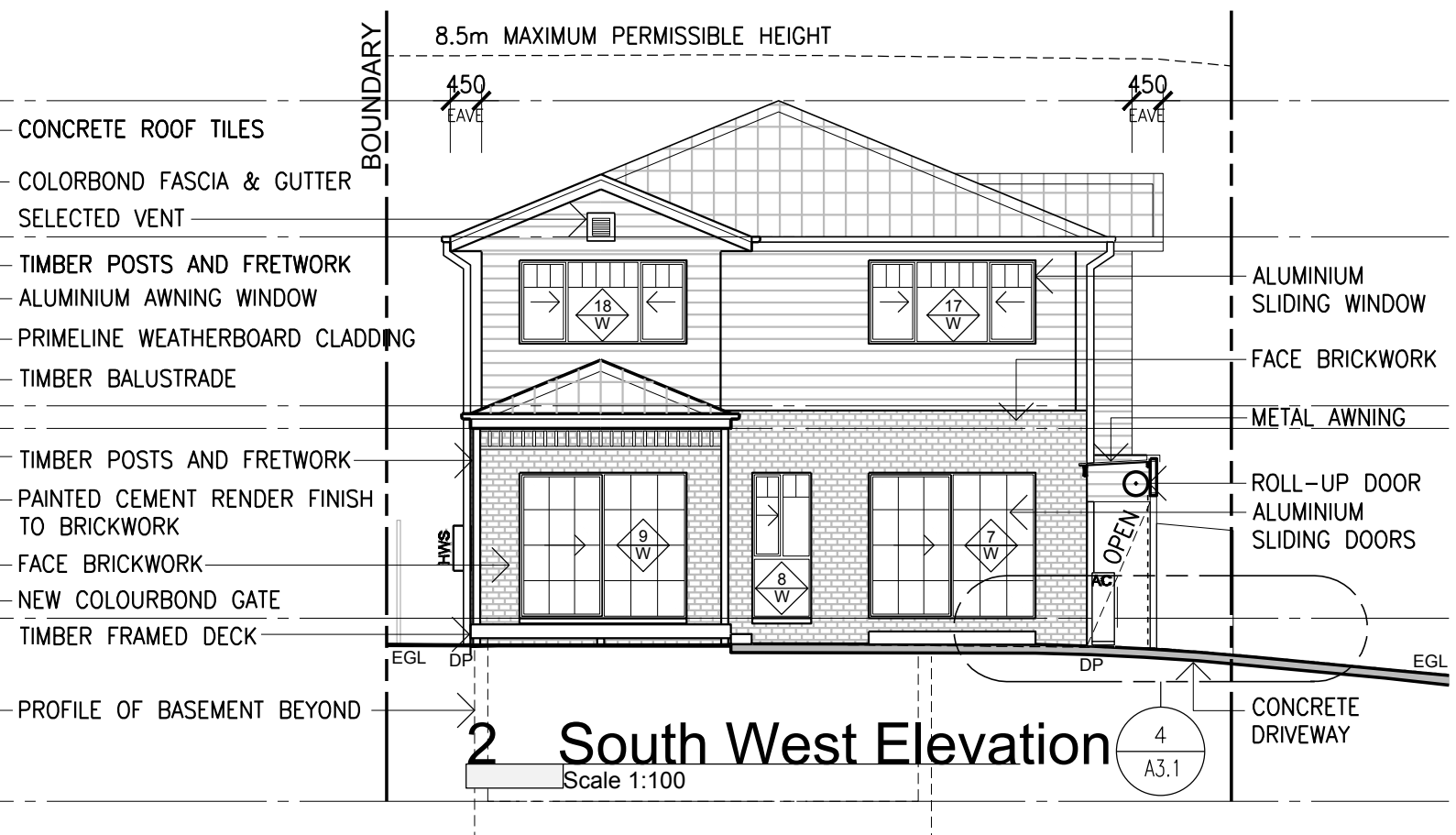
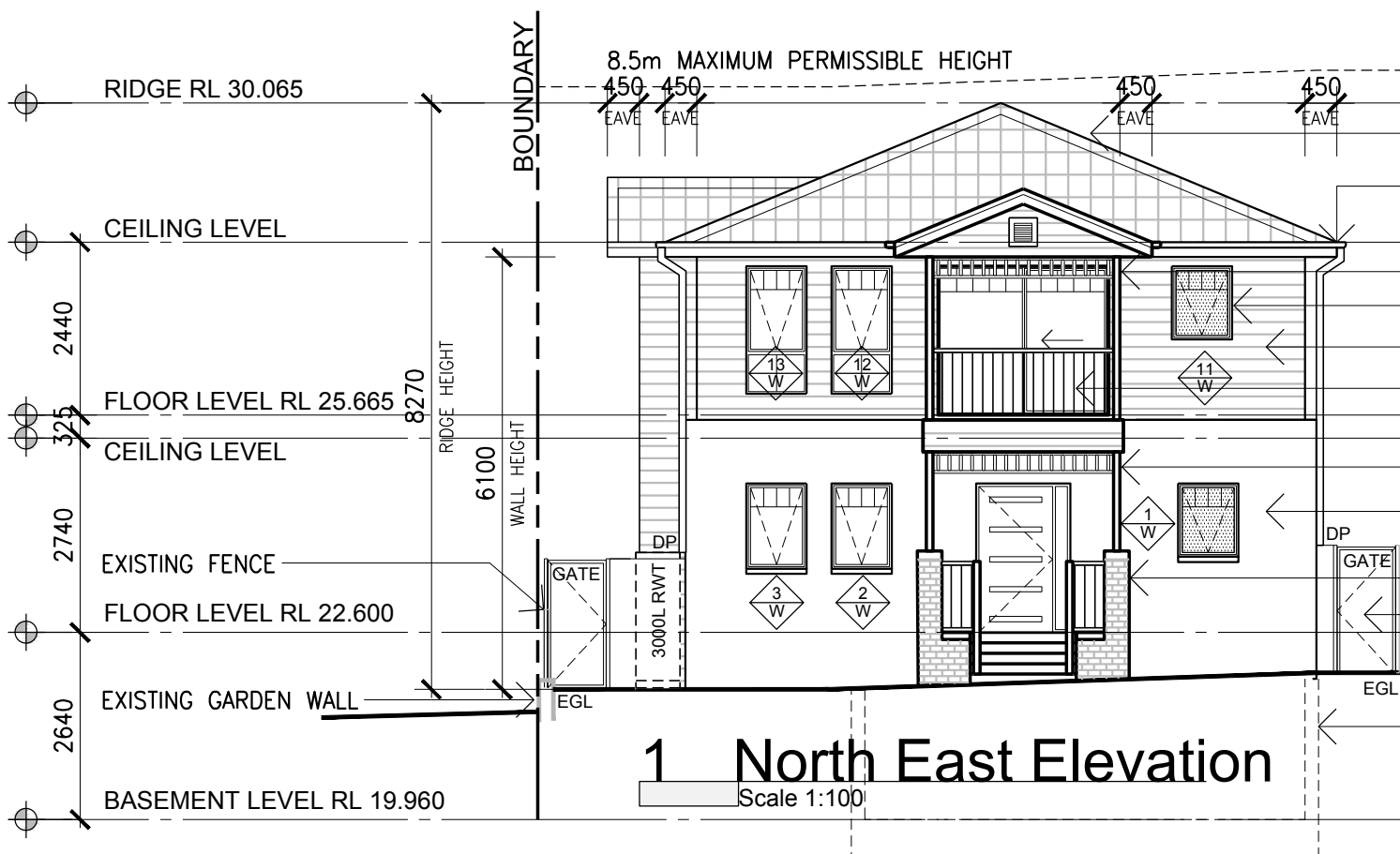
Michael Thai & Anne Ung

First Floor Plan

scale (A3): 1:100

date: 17/07/2023

A2.3



- CONCRETE ROOF TILES
- COLORBOND FASCIA & GUTTER
- SELECTED VENT
- TIMBER POSTS AND FRETWORK
- ALUMINIUM AWNING WINDOW
- PRIMELINE WEATHERBOARD CLADDING
- TIMBER BALUSTRADE
- TIMBER POSTS AND FRETWORK
- PAINTED CEMENT RENDER FINISH TO BRICKWORK
- FACE BRICKWORK
- NEW COLOURBOND GATE
- TIMBER FRAMED DECK
- PROFILE OF BASEMENT BEYOND
- TIMBER TRUSS ROOF
- PLASTERBOARD CEILING WITH R5 INSULATION
- TIMBER STUDS WITH R2.2 INSULATION AND VAPOUR PERMEABLE MEMBRANE ON EXTERIOR SIDE OF INSULATION
- STAIR WITH HANDRAIL TO COMPLY WITH NCC PART 3.9.2
- BRICK VENEER WALL WITH R2.2 INSULATION AND VAPOUR PERMEABLE MEMBRANE ON EXTERIOR SIDE OF INSULATION
- EXISTING FENCE
- TIMBER FRAMED FLOOR
- REINFORCED CMU BASEMENT RETAINING WALL TO ENGINEER'S DETAILS WITH WATERPROOF MEMBRANE AND AGG DRAIN
- REINFORCED BEAMS AND WAFFLE POD SLAB TO ENGINEER'S DETAILS

NOTE: PROVIDE VERTICAL CONTROL OR ARTICULATION JOINTS IN MASONRY IN ACCORDANCE WITH NCC PART 3.3.5.13 OR AS3700, AS4773.1 & AS4773.2.

5.2

NATIONWIDE HOUSE

62.0

MJ/m²

www.nathers.gov.au

0008962649 29 Sep 2023

Assessor Martin Pinson

Accreditation No. DMN/19/1921

Address

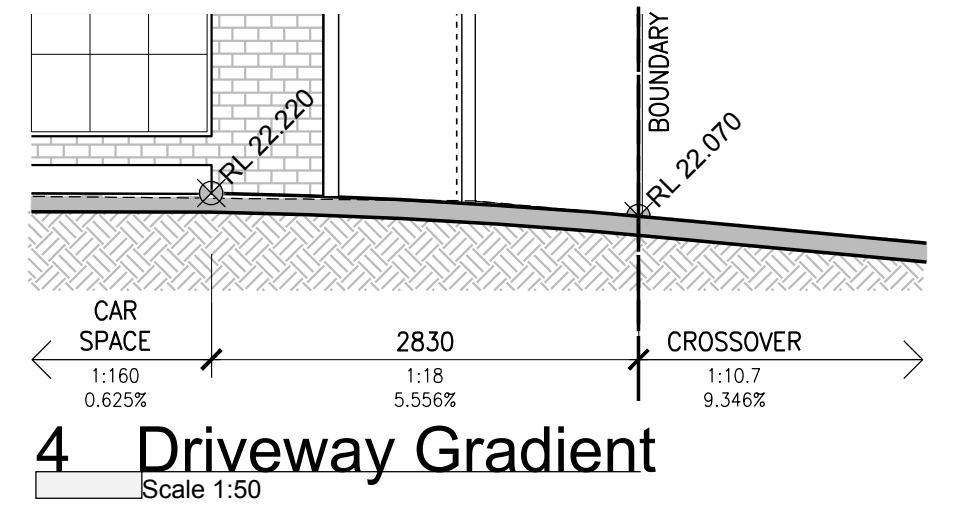
18 18 SEYMOUR PDE,

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bdaa

ACCREDITED

BUILDING DESIGNER

Mob: 0412 868 141

Web: www.larasdesign.com.au

ABN: 13 704 885 384

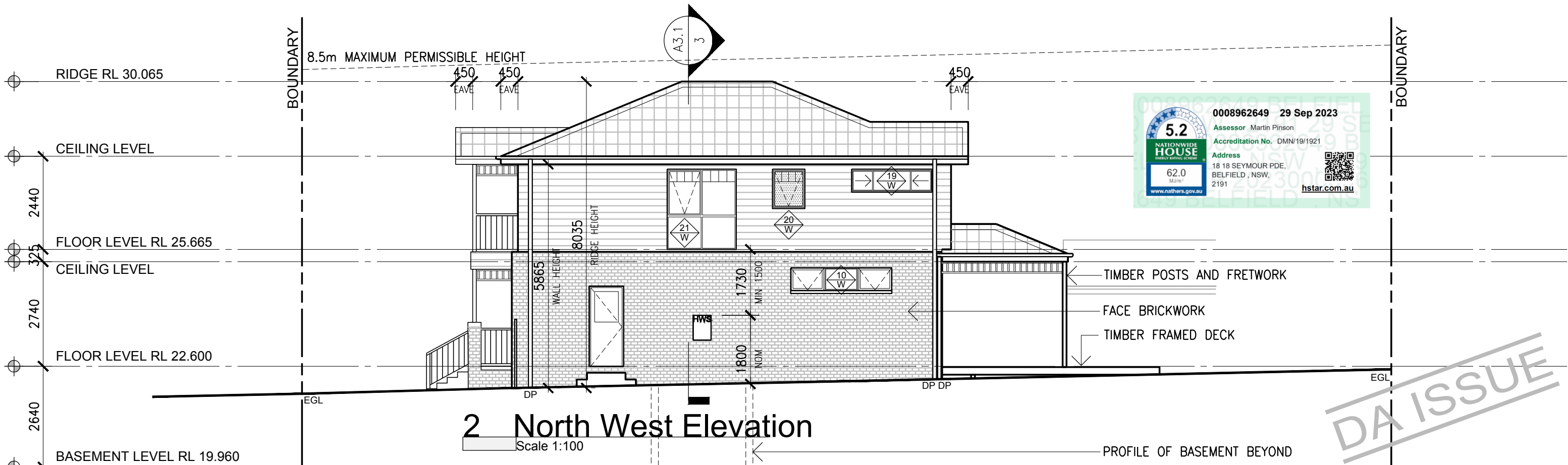
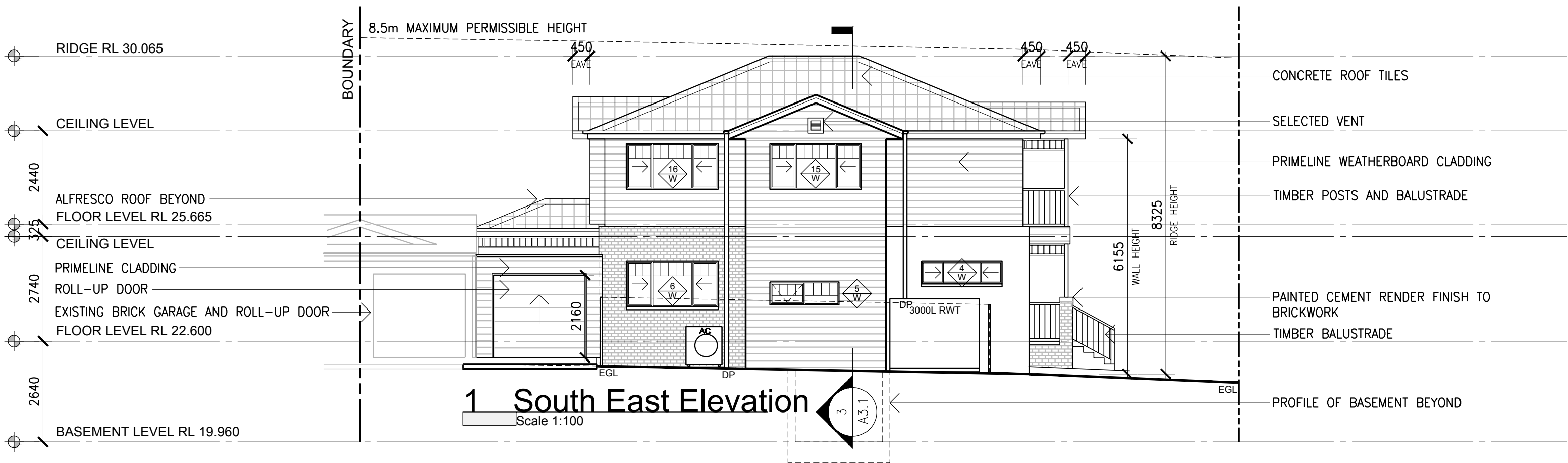
rev	revision	date	initials
A	ISSUE TO CLIENTS RE: MINOR DESIGN CHANGES	16/08/23	LN
B	DA ISSUE	29/09/23	LN

PROPOSED NEW DWELLING
No 18 Seymour Pde, Belfield NSW 2191

Michael Thai & Anne Ung

Elevations - NE & SW & Cross Section
scale (A3): 1:100, 1:50
date: 17/07/2023

A3.1



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PROPOSED NEW DWELLING

No 18 Seymour Pde, Belfield NSW 2191

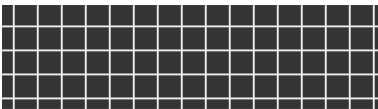
Michael Thai & Anne Ung

Elevations - SE & NW

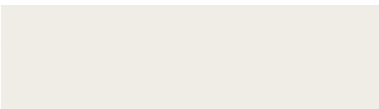
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date: 17/07/2023

A3.2

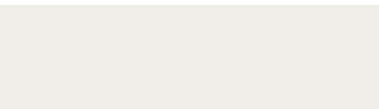
Schedule Of Exterior Materials & Finishes



ROOF TILES
MONIER CONCRETE
BARRAMUNDI (DARK GREY)



GUTTERS
SELECTED METAL PROFILE
COLORBOND - WHITE



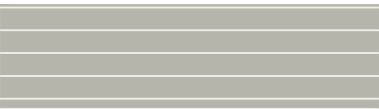
FASCIA
SELECTED METAL PROFILE
COLORBOND - WHITE



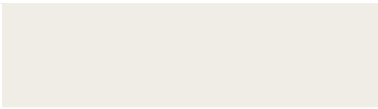
DOWNPIPES
PVC TUBE
PAINT - WHITE



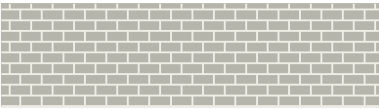
SOFFITS
FIBRE CEMENT
PAINT - WHITE



WALL CLADDING
PRIMELINE WEATHERBOARD
PAINT - LIGHT GREY



WINDOW/DOOR FRAMES
TREND
COLORBOND - PEARL WHITE GLOSS



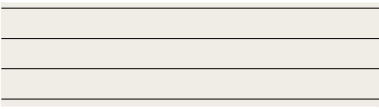
FACE BRICKWORK
PGH BREEZE
LIGHT GREY



CEMENT RENDERED WALLS
PAINT - LIGHT GREY



POSTS, FRETWORK, BALUSTRADES
TIMBER
PAINT - WHITE



ROLL-UP DOOR
DOMESTIC ROLL-UP
COLORBOND - WHITE



DA ISSUE

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PROPOSED NEW DWELLING

No 18 Seymour Pde, Belfield NSW 2191

Michael Thai & Anne Ung

Schedule Of Exterior Materials & Finishes

scale (A3): NTS

date: 17/07/2023

A4.1

Window Schedule

NO	LOCATION	ORIENTATION	SILL H	HEIGHT	WIDTH	TYPE	FRAME TYPE	GLASS TYPE	SHADING
1	BATH	NE	1070	1030	850	AWNING/FIXED	ALUMINIUM	SINGLE OBSCURE	-
2	BED 4	NE	900	1200	850	AWNING/FIXED	ALUMINIUM	SINGLE CLEAR	-
3	BED 4	NE	900	1200	850	AWNING/FIXED	ALUMINIUM	SINGLE CLEAR	-
4	BED 4	SE	1500	600	2110	SLIDING/FIXED	ALUMINIUM	SINGLE CLEAR	-
5	KITCHEN	SE	950	600	1810	AWNING/FIXED	ALUMINIUM	SINGLE CLEAR	-
6	DINING	SE	900	1200	2410	SLIDING/FIXED	ALUMINIUM	SINGLE CLEAR	-
7	DINING	SW	0	2100	2410	SLIDING DOOR	ALUMINIUM	SINGLE CLEAR	-
8	LOUNGE 1	SW	0	2100	850	SLIDING/FIXED	ALUMINIUM	SINGLE CLEAR	-
9	LOUNGE 1	SW	0	2100	2410	SLIDING DOOR	ALUMINIUM	SINGLE CLEAR	AWNING 3990 W
10	LOUNGE 1	NW	1980	600	2650	AWNING/FIXED	ALUMINIUM	SINGLE CLEAR	-
11	ENS	NE	1070	1030	850	AWNING/FIXED	ALUMINIUM	SINGLE OBSCURE	EAVE 550W
12	BED 1	NE	300	1800	850	AWNING/FIXED	ALUMINIUM	SINGLE CLEAR	EAVE 550W
13	WIR	NE	300	1800	850	AWNING/FIXED	ALUMINIUM	SINGLE CLEAR	EAVE 550W
14	ENSUITE	NE	1500	600	730	SLIDING/FIXED	ALUMINIUM	SINGLE OBSCURE	EAVE 550W
15	LOUNGE 2	SE	900	1200	2410	SLIDING/FIXED	ALUMINIUM	SINGLE CLEAR	EAVE 550W
16	BED 2	SE	900	1200	2410	SLIDING/FIXED	ALUMINIUM	SINGLE CLEAR	EAVE 550W
17	BED 2	SW	900	1200	2410	SLIDING/FIXED	ALUMINIUM	SINGLE CLEAR	EAVE 550W
18	BED 3	SW	900	1200	2410	SLIDING/FIXED	ALUMINIUM	SINGLE CLEAR	EAVE 550W
19	BED 3	NW	1500	1600	2110	SLIDING/FIXED	ALUMINIUM	SINGLE CLEAR	EAVE 550W
20	BATH	NW	1070	1030	850	AWNING/FIXED	ALUMINIUM	SINGLE OBSCURE	EAVE 550W
21	STAIR	NW	0	2100	1810	AWNING/FIXED	ALUMINIUM	SINGLE CLEAR	EAVE 550W

WINDOW NOTES

1. CONFIRM ALL WINDOW AND DOOR OPENINGS DIMENSIONS ON SITE.
2. ALL WINDOWS AND DOORS MUST BE SEALED TO COMPLY WITH NCC VOL. 2: H6 & HOUSING PROVISIONS: PART 13.4.4.
3. ALL WINDOWS AND DOORS MUST BE COMPLIANT WITH BAL-29, EXCEPT WINDOWS 1, 11 AND 12 WHICH MAY BE COMPLIANT WITH BAL-19, REFER BUSHFIRE HAZARD ASSESSMENT REPORT BY CONTROL LINE CONSULTING PTY LTD, REFER DWG A6.1.



BASIX Commitments - Certificate No 1414438S

Water Commitments

Landscape

The applicant must plant indigenous or low water use species of vegetation throughout 23 square metres of the site.

Fixtures

The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.

The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 75.09 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must configure the rainwater tank so that overflow is diverted to a stormwater tank.

The applicant must connect the rainwater tank to:

- all toilets in the development
- the cold water tap that supplies each clothes washer in the development

Stormwater tank

The applicant must install a stormwater tank with a capacity of at least 6000 litres on the site. This stormwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the stormwater tank to collect overflow from the rainwater tank.

The applicant must configure the stormwater tank to collect runoff from:

- at least 136.37 square metres of roof area of the development (excluding the area of the roof which drains to any rainwater tank or private dam)
- at least 9.3 square metres of impervious areas
- at least 77.25 square metres of garden and lawn

The applicant must connect the stormwater tank to:

- a sub-surface or non-aerosol irrigation system, or if the stormwater has been appropriately treated in accordance with applicable regulatory requirements, to at least one outdoor tap in the development (Note: NSWHealth does not recommend that stormwater be used to irrigate edible plants which are consumed raw.)

BASIX Commitments

Thermal Comfort Commitments
Simulation Method
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres

THERMAL COMFORT SPECIFICATIONS	
External Walls 1	Weatherboard 9mm or more, optional insul for garage
External Walls 2	Weatherboard 9mm or more, R2.2 added (non-garage)
Internal Walls 1	Plasterboard on studs
Internal Walls 2	Plasterboard on studs, R2.2 added between garage/rooms
External Floors	Concrete slab on ground
External Floor Insulation	None
Internal floor	N/A
Floor Finishes	As shown on plans (tile, carpet, timber, etc)
Roofs	Metal roofs as shown, dark colour (no foil/anticon/etc)
External Ceilings	Plasterboard + R4.0 above
Windows	Metal frames+ single, clear glass (generic)
Fixed/Sliding Windows - U-valu	≤ 6.7
Fixed/Sliding Windows - SHGC	0.70 ± 5%
Awning Windows - U-value	≤ 6.7
Awning Windows - SHGC	0.57 ± 5%
Internal Doors	Hollow-core doors
External Doors	Solid-core doors
Exhaust Fans	All with dampers for infiltration (when the fans are off)
Weather Stripping	Yes for all external doors and windows
Skylights	N/A
Ceiling fans	Optional (but can add almost 1 star)
Downlights affecting insulation	No holes in insulation. Downlights MUST use approved safety cover
Downlights / exhaust fans in ceilin	Generic holes assumed , based on floor area (wet areas have exhaust)
Shading	Eaves as shown and overhangs as shown
Terrain	Suburban

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.
Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5
The cooling system must provide for day/night zoning between living areas and bedrooms.
Heating system
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5
The heating system must provide for day/night zoning between living areas and bedrooms.
Ventilation
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: interlocked to light
Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 4 of the bedrooms / study;at least 3 of the living / dining rooms;the kitchen;all bathrooms/toilets;the laundry;all hallways;
Natural lighting
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Other
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
The applicant must install a fixed outdoor clothes drying line as part of the development.



0008962649 **29 Sep 2023**

Assessor Martin Pinson

Accreditation No. DMN/19/1921

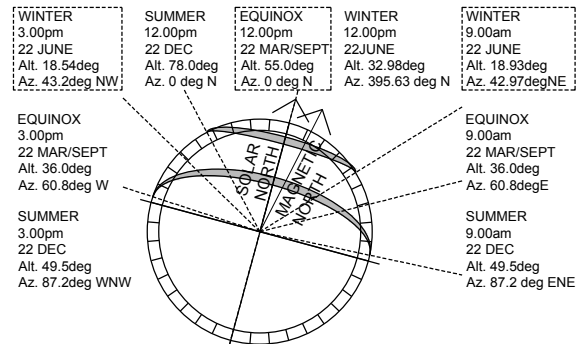
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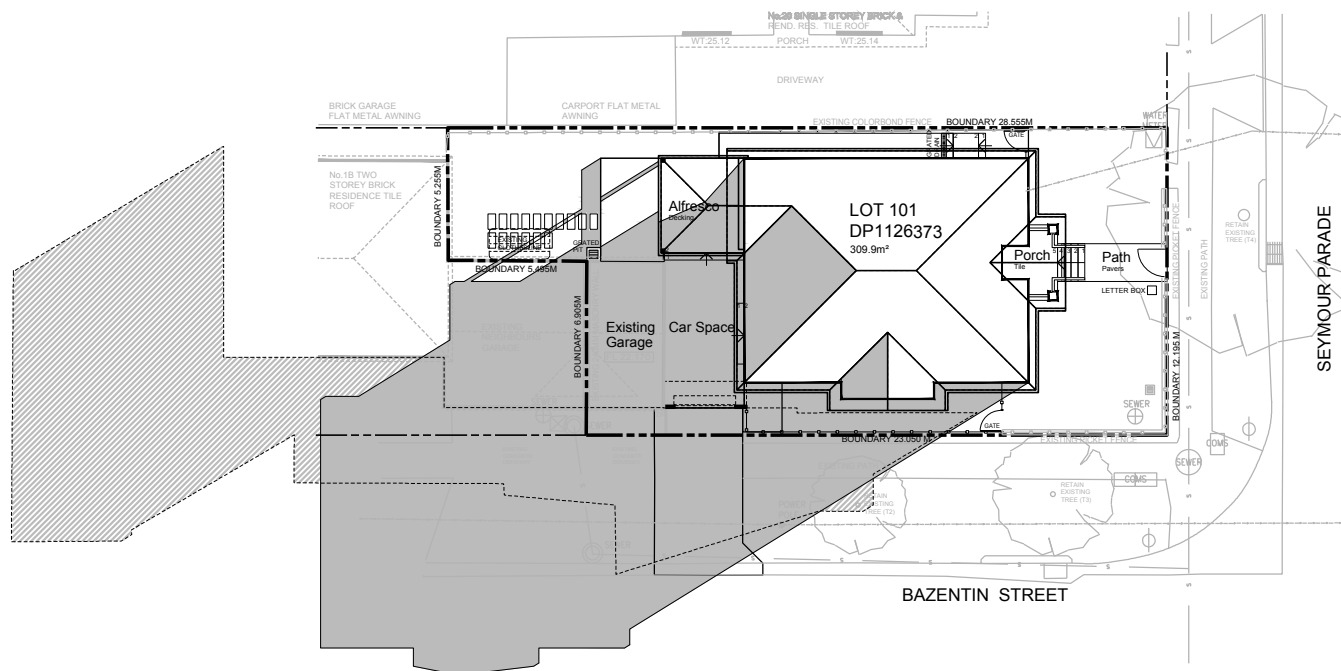


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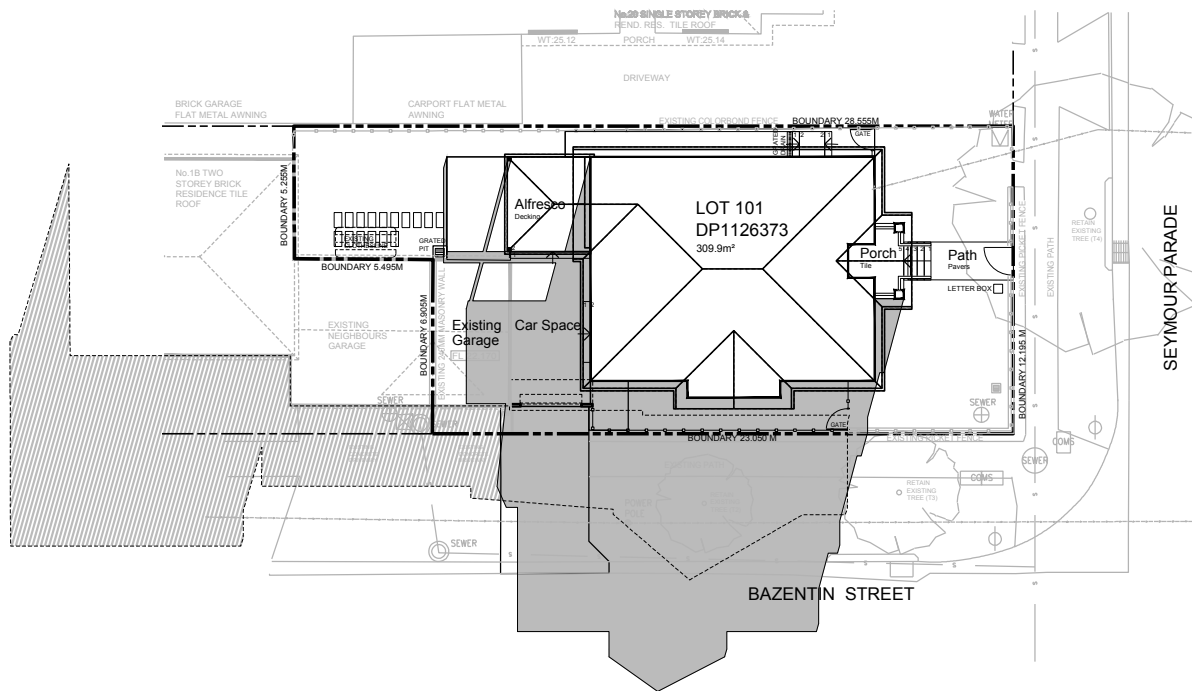
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SOLAR ANGLES

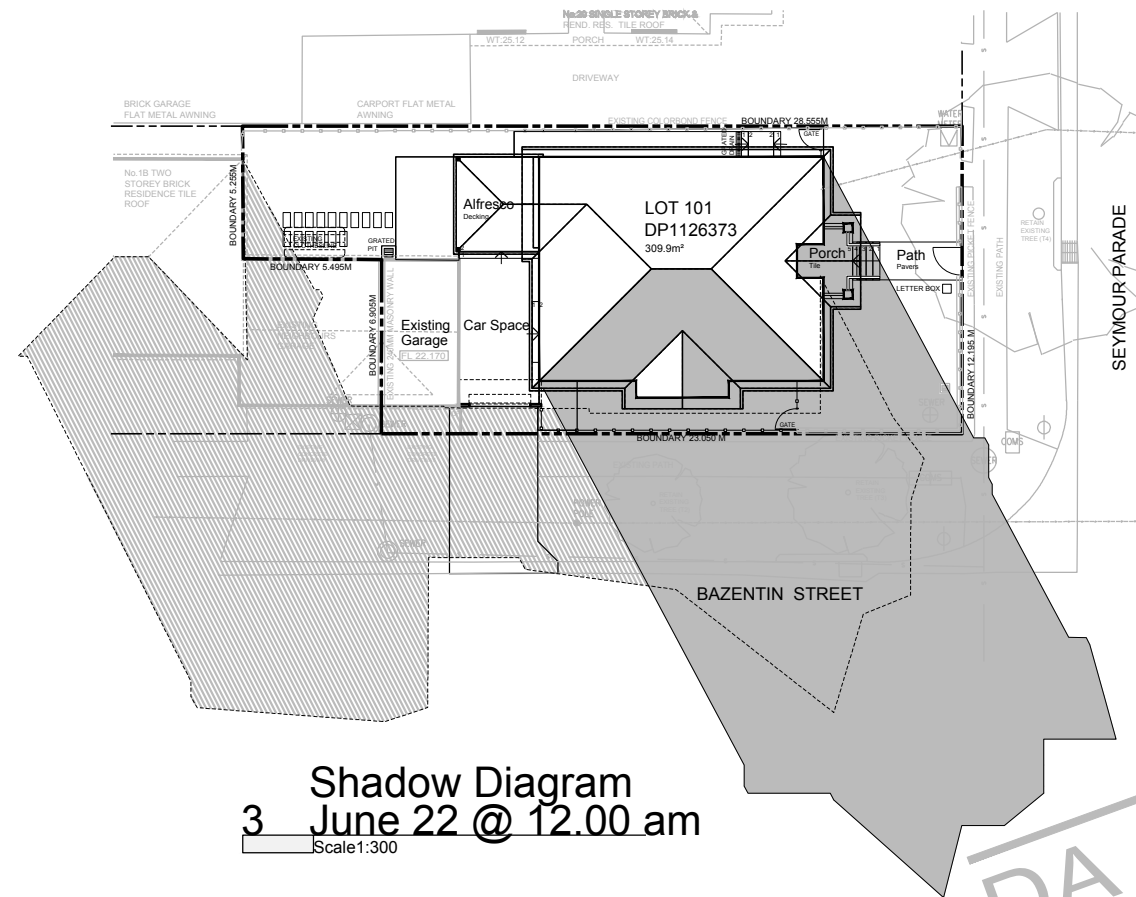
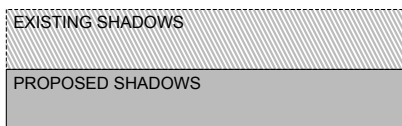


Shadow Diagram
1 June 22 @ 9.00 am
Scale 1:300



Shadow Diagram
2 June 22 @ 12.00 am
Scale 1:300

LEGEND



Shadow Diagram
3 June 22 @ 12.00 am
Scale 1:300

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